



# Middle Housing Code Update

Advisory Committee Meeting #2  
November 18, 2020

# Agenda

- Middle housing background
- Code concepts & survey results
- Discussion
- Next steps

# What Are We Planning For?

- Duplexes, Triplexes, Quadplexes, Townhouses and Cottage Clusters
- New construction or additions/ conversion of existing buildings
- In existing and new neighborhoods



# Middle Housing “Tour”

- What will these new housing types look like, and how will they differ from historical examples?
- What could be challenging design issues:
  - For feasibility of building these types?
  - For integration with surrounding neighborhood?



# New and Old Duplexes





# Corner Duplex





# Corner Duplex/Townhouses





# Detached Duplex





## New Duplex (No Driveway)



## New Duplex (Shared Driveway)





# New Duplex





## Row of New Duplexes





# New Triplex





## New Triplex—or Townhouses?





**New Triplex: Front**

**New Triplex: Back,  
with Parking**





## Quadplex: Multiple Entrances





## New Quadplex: Infill





# New Quadplex: New Neighborhood





# Two-Unit Townhouse





# Three-Unit Townhouse

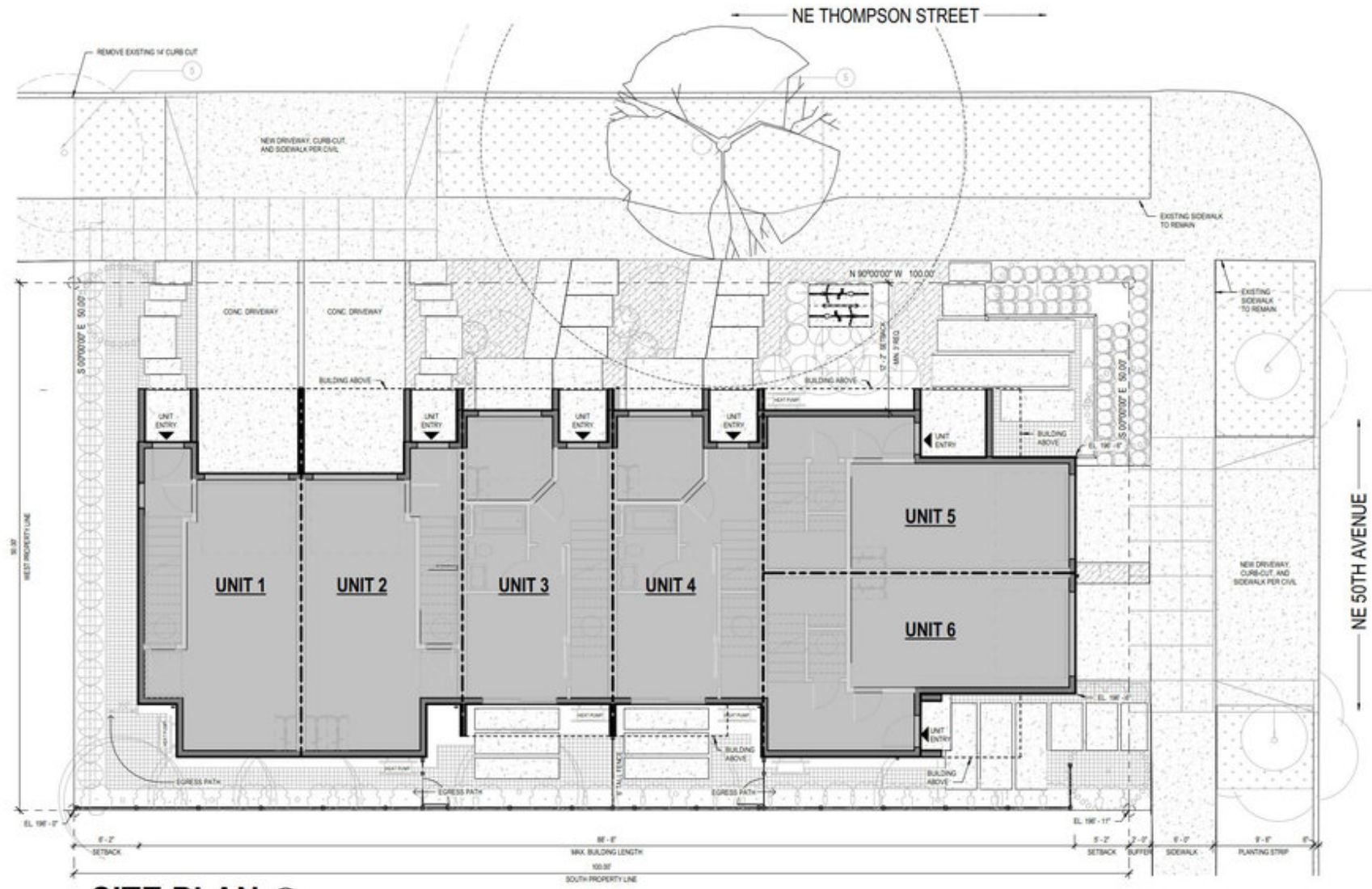




# Six-Unit Townhouse



# Six-Unit Townhouse: Plan



## SITE PLAN



## Five-Unit Townhouse (Rear Garages)





# Townhouses (Front Garages & Driveways)





# Cottages





# Cottages





**Legend:**

- SANITARY SEWER
- WATER LINE
- STORM MM
- SANITARY MM
- STREET LIGHT
- END CAP
- WATER VALVE
- BLOW OFF POST HYDRANT
- FIRE HYDRANT
- WATER SERVICE
- STANDARD BLOW OFF
- CURB INLET
- FENCE
- LANDSCAPING
- PROPERTY LINE

**Site Plan Details:**

- Streets:** 15TH STREET, NOPAL ST
- Infrastructure:** 10" SD Culvert, 2" STREET DEDICATION, 3" PUBLIC UTILITY BASEMENT, 4" PUBLIC MAINTENANCE BASEMENT, EXISTING STORM TREATMENT, 1" Irrigation Backflow, 2" Water Meter, 3" DCVA, Connection to EX. 8" W
- Buildings:** 1 BDRM, 2 BDRM, 3 BDRM
- Landscaping:** LAWN, GARDEN, TRASH, NEW GRADES / LANDSCAPE
- Stormwater Management:** Stormwater Infiltration Basins
- Other Features:** MAIL, PARKING, 26'72", 50', 55', 60', 65', 34', 34.5', 38'48'

Connect to EX. 8"  
SS manhole





Requires individual garage allowances, changes to courtyard orientation



# Tour Takeaways

- Range of architectural styles
- Scale of units and buildings
- Parking impacts on site design, street presence
- Not always easy to tell what kind of unit it is from the outside!

*Group thoughts?*



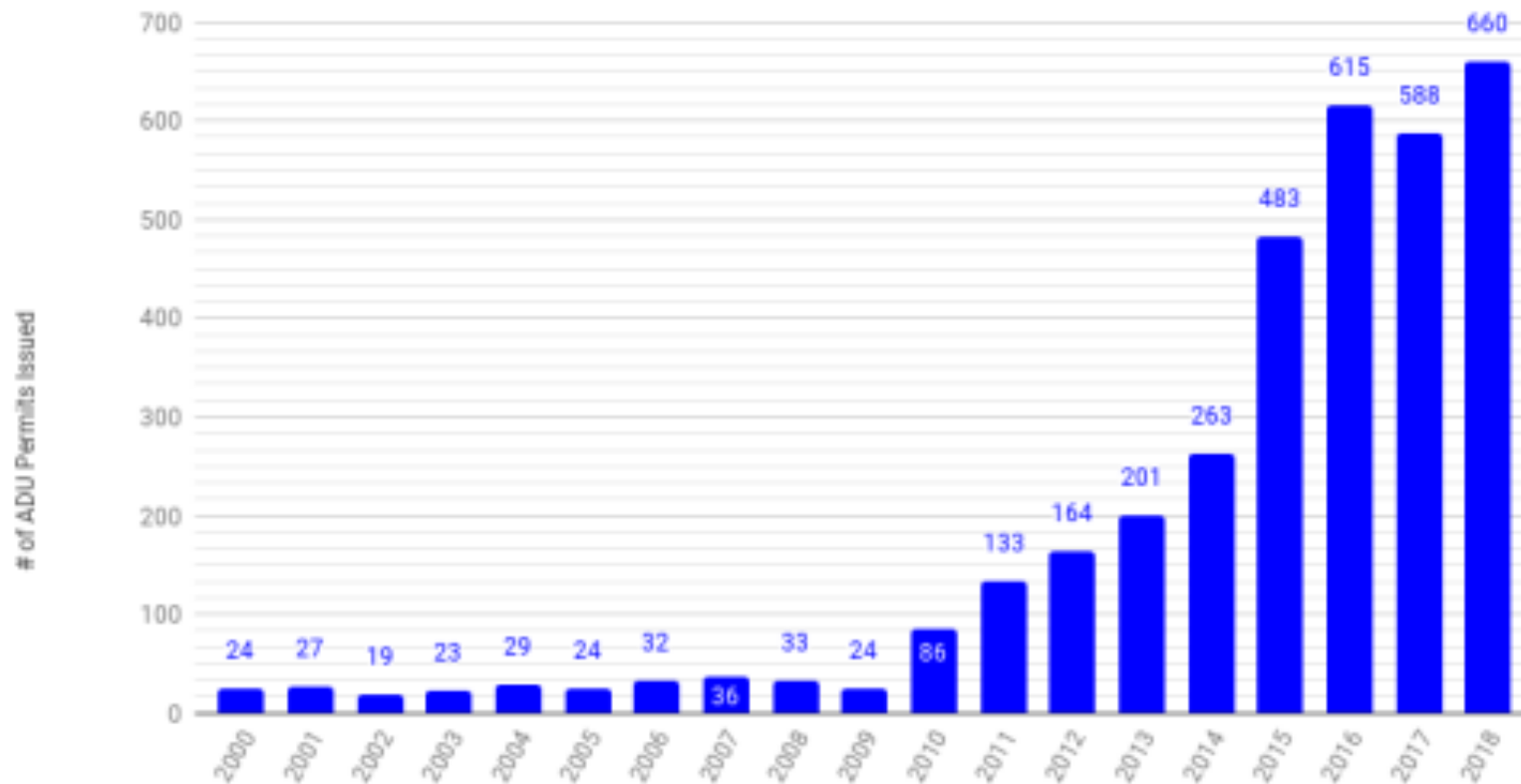
# Middle Housing Forecasts

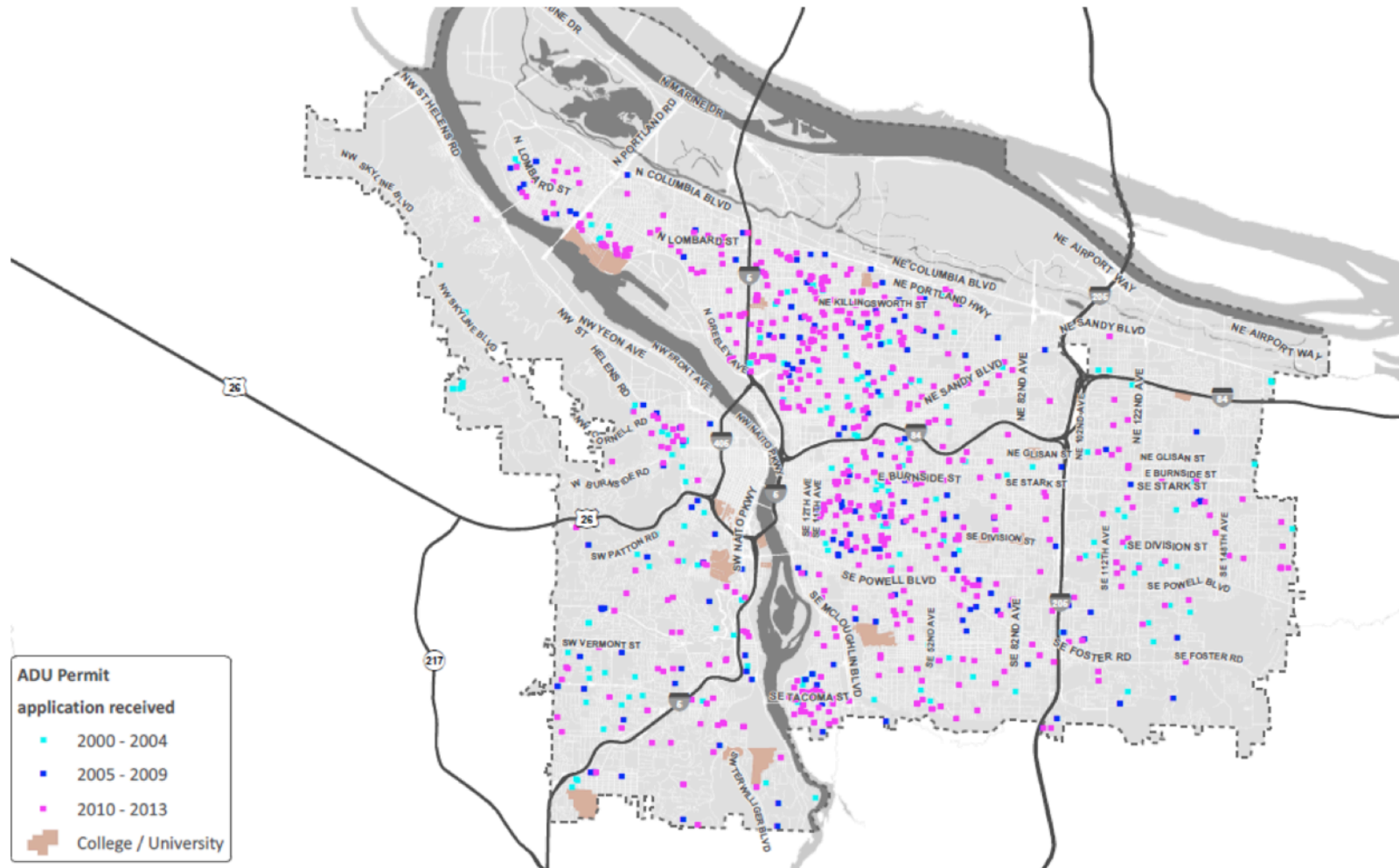
- When, where and how many of these new housing types are we likely to see?



# Case Study: Portland ADUs

ADU Permits Issued in Portland from 2000-2018



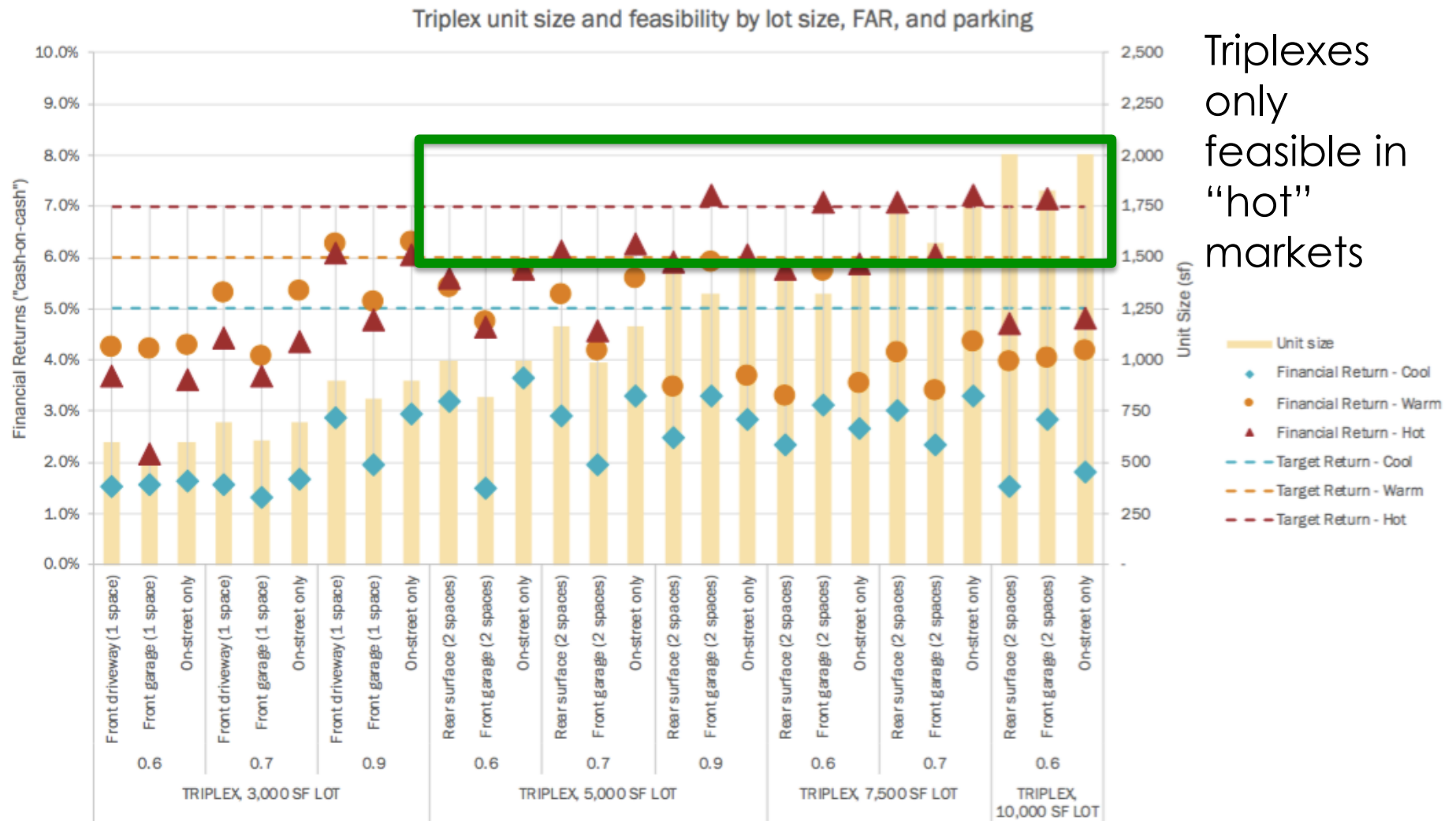


# Case Study Lessons

- Zoning reforms incremental, accelerated by financial policies
- Slow growth in permits over 20 years
- New construction concentrated in areas with greater demand, amenities
- Even when ADU permits outpaced SFDD permits annually, ADUs only ~1% of total housing stock



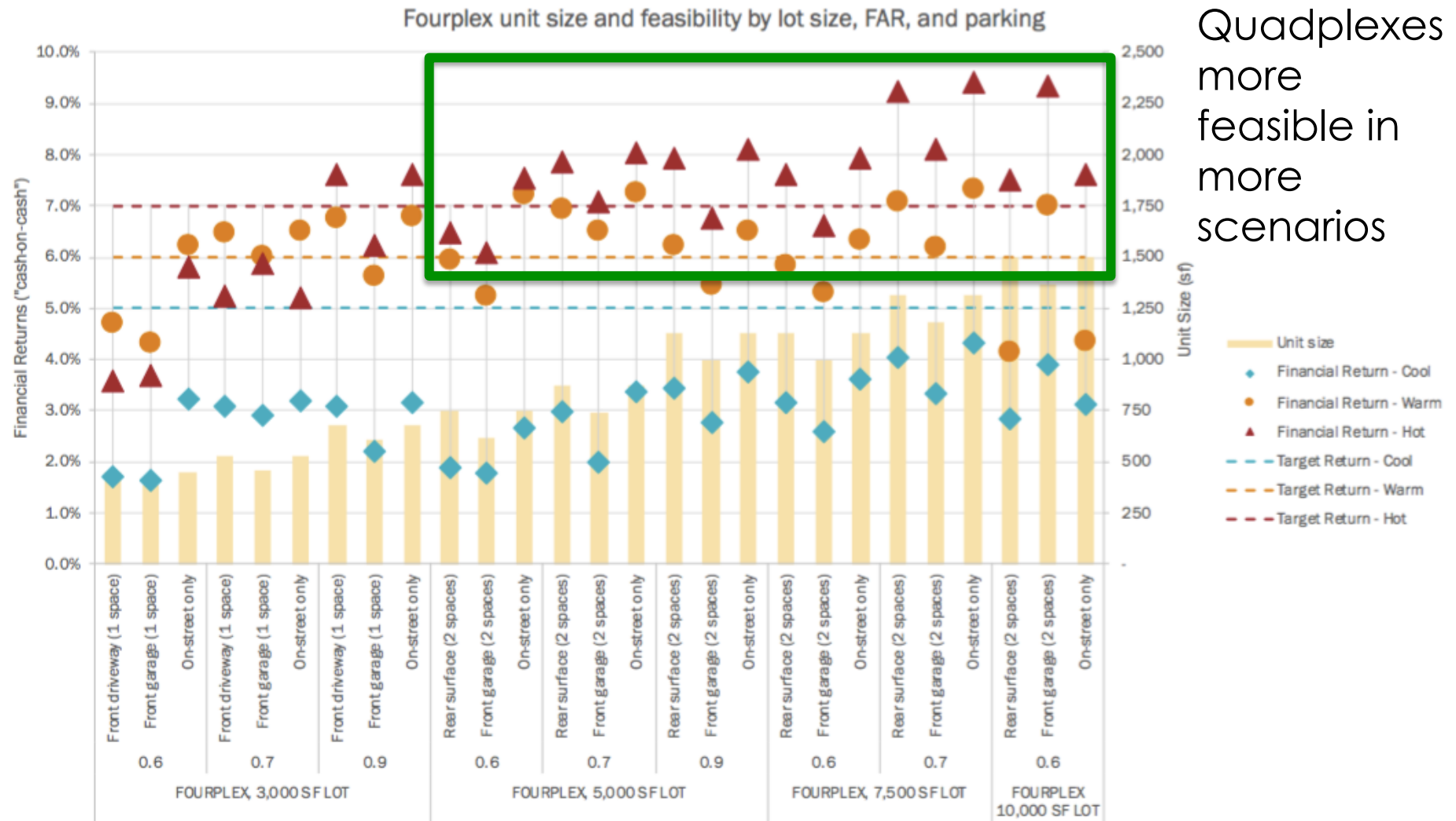
# Middle Housing Forecasts



Triplexes only feasible in "hot" markets

Source: ECONorthwest

# Middle Housing Forecasts



Quadplexes more feasible in more scenarios



# Other Estimates

- No more than 3% increase in residential density capacity can be assumed to result from middle housing development in existing UGBs
- Minneapolis saw 3 new triplex permits the first year that they were allowed



# Forecasting Takeaways

- Single-family detached dwellings will remain the predominate type of existing and new construction
- Middle housing types may be feasible in limited scenarios
- Slow growth expected, would be lucky to total 1-3% of housing units



# Role for Code Updates

- **Team approach:**  
Overlaps with building codes, SDCs, public improvements, access to financing, consumer preferences, land availability



# Goals for Code Updates

- Zoning code is just the start by writing the rules to allow these types
- Code doesn't have to predict the winning designs and describe every detail perfectly: we just have to set minimums for regulatory purpose
- Zoning code has to meet state minimums, choose between “buffet” options

# What to do about Parking?

- State requirements cap minimum off-street parking requirements at 1 space per unit for all these housing types
- Option for city to set lower minimum parking requirements
- Best practices and feasibility suggest that no minimum better supports housing availability and affordability

# Parking Considerations

- City minimums are a regulatory minimum, not maximum: developers still decide how much parking to provide that balances site constraints and marketability
- Lower parking minimums support more housing development, reduced energy demands, greater affordability



# Parking Over Time

- Parking needs may change in the future: what's built today may be here in 50 years, parking needs may change
- In the near-term, potential on-street parking issues since behaviors don't change overnight
- On-street parking management tools





# DISCUSSION

- Where to set parking minimums?
- Allow on-street parking credits?
- Impacts of parking configurations: driveway number, width and spacing, garage doors, alleys or shared driveways, clustered parking or individual garages

# Duplex Concepts

- Essentially, regulate as SFDDs:
  - Permitted use
  - Minimum lot sizes (7,500 and 6,000 SF)
  - Dimensional standards
  - Design standards
- Can require 1 parking space per unit, total of 2 spaces per duplex



# DISCUSSION

- Attached or detached duplexes? (Yes)
- Parking standards: number and arrangement? (*On-street*)
- Minimum lot size reductions for SFDDs **and** duplexes? (Yes)

# Triplex and Quadplex Concepts

- Create new use categories, definitions
- Allow in R and MR zones
- Minimum lot size same as SFDDs
  - 5,000 SF triplex, 7,000 SF quadplex min
- Clear & objective design standards
  - *Entryway, window coverage, garage location, driveway approaches*
- Can require max 1 parking space/unit
- Permit conversion of SFDDs



# DISCUSSION

- Attached or detached configurations? *(Yes)*
- Parking standards: number and arrangement?
- Adjustments to dimensional standards?
- Desired design standards?  
*(Mix)*

# Townhouse Concepts

- Permit in all R and MR zones
- Min of 4 attached units allowed
- 1,500 SF Minimum lot size, 20 ft min lot width
- Design standards: remove landscaping
- Minimum of 1 parking spaces/unit





# DISCUSSION

- How many attached units?
- Keep or modify design standards? (*Mix*)
- Parking standards: number and arrangement?  
(*Reduce*)
  - Including driveway spacing

# Cottage Cluster Concepts

- Define and permit in R and MR zones
- 900 SF footprint and 900-1,800 SF area
- Clusters of 5-8 units, or greater
- Minimum lot size of 7,000 SF
- Common open space
- Shared access
- Minimum 1 parking space/unit, shared parking pods or garages



# DISCUSSION

- Size of units and units per cluster?
- Subdivision option?  
*(Maybe)*
- Orientation requirements?
- Parking: number and arrangement—garages?

# Other Issues

- Road improvement standards
  - 60-ft minimum width for public streets
  - Hillside street alternatives 40-50 ft
  - Private street alternatives (?)





# DISCUSSION

- Should ROW revisions be included with this work?
- What would be reasonable alternative ROW widths?
- Where should alternatives apply?

# DISCUSSION

- Are we missing anything other code provisions that fundamentally affect development viability?



# Next Steps

- Public Open House Dec 8
- Final Code Assessment & Concepts
  - Stakeholder input from AC, interviews
  - Clarifications from DLCD, final state regs
- *2021: Develop draft code language*

