



# Middle Housing Code Update

Advisory Committee Meeting #3  
February 3, 2021

# Agenda

- Online survey results
- Draft duplex code update
- Design standards for Other Middle Housing
- Next steps



# ONLINE SURVEY RESULTS

# Online Survey Results

- Open November 23<sup>rd</sup> to January 11<sup>th</sup>
- 353 respondents
- Scale
  - 1 = Not important
  - 2 = Somewhat important
  - 3 = Important
  - 4 = Very important

# 1. What should be the top policy goals for introducing middle housing zoning standards?

| Policy Goal   | Score |
|---|-------|
| Managing parking impacts within neighborhoods                   | 3.19  |
| Creating more opportunities for homeownership                   | 3.19  |
| Supporting the development of less expensive housing options    | 3.17  |
| Supporting walkable neighborhoods                               | 3.15  |
| Creating more rental opportunities                              | 3.15  |
| Ensuring middle housing is compatible with existing development | 3.09  |
| Increasing the number of housing units that can be built        | 3.02  |
| Creating opportunities for a broader variety of housing types   | 2.99  |
| Making regulations more flexible                                | 2.84  |

Online Survey Results

## 2. Knowing that standards must be applied equally to duplexes and single family detached dwellings, how important are the following duplex code standards?

| Duplex Code Standard  | Score |
|---|-------|
| Allowing attached and detached configurations                         | 3.07  |
| Creating physical/visual connections between dwellings and the street | 2.70  |
| Adding flexibility to existing setbacks and lot coverage standards    | 2.70  |
| Adding flexibility to reduce minimum lot sizes                        | 2.65  |
| Limiting overall size of buildings                                    | 2.49  |

**Online Survey Results**

### 3. How important are the following triplex and quadplex code standards?

| Duplex Code Standard  | Score |
|---|-------|
| Addressing the location of parking areas relative to the street and dwellings | 3.26  |
| Allowing attached and detached configurations                                 | 2.96  |
| Adding flexibility to existing setbacks and lot coverage standards            | 2.78  |
| Creating physical/visual connections between dwellings and the street         | 2.75  |
| Limiting overall size of buildings  | 2.59  |

**Online Survey Results**

#### 4. How important are the following townhouse code standards?

| Townhouse Code Standard   | Score |
|---|-------|
| Addressing relationship of parking areas to the street and dwellings    | 3.26  |
| Creating physical/visual connections between dwellings and the street   | 2.77  |
| Regulating the minimum and maximum number of units in a single building | 2.71  |
| Adding flexibility to existing setbacks and lot coverage standards      | 2.67  |
| Limiting overall size of buildings                                      | 2.59  |
| Adding architectural detailing standards to differentiate units         | 2.52  |

**Online Survey Results**



## 5. How important are the following cottage cluster code standards?

| Cottage Cluster Code Standard  | Score |
|--|-------|
| Providing options for shared parking or parking proximal to each cottage | 3.31  |
| Bulk and scale   | 2.77  |
| Adding flexibility to existing setbacks and lot coverage standards       | 2.76  |
| Creating physical/visual connections between dwellings and the street    | 2.76  |
| Limiting overall size of buildings                                       | 2.52  |
| Orienting cottages around a shared courtyard area                        | 2.47  |

**Online Survey Results**

DUPLEX CODE (+)

# Proposed Code Updates

- 3 topics in update package by June:
  - **Duplexes**
  - ADUs (remove all parking requirements)
  - Residential road standards, options

# Duplex Code

- Amend “duplex dwelling” definition to allow attached or detached configurations, including manufactured homes
- Allow duplexes with the same requirements as single-family detached dwellings in the R10, R7.5, R6, MR14, MR18 and MR29 zones
- Allow duplexes on the same size lots as SFDDs by removing duplex lot requirements
- Revise parking requirement to one per dwelling unit

# Minimum Lot Size Reductions

| DISTRICTS  | R10          | R7.5         | R6           | MR14             | MR18             | MR29             |
|--|--------------|--------------|--------------|------------------|------------------|------------------|
| Single-Family and Duplex Dwelling: existing  | 10,000       | 7,500        | 6,000        | 6,000            | 6,000            | 6,000            |
| Single-Family and Duplex Dwelling: <b>proposed</b>                                       | <b>8,000</b> | <b>6,500</b> | <b>5,000</b> | <b>3,000</b>     | <b>3,000</b>     | <b>3,000</b>     |
| Multifamily Dwelling (Min. Lot Area/Lot Area per dwelling unit) existing, for comparison | -            | -            | -            | 10,000/<br>3,000 | 10,000/<br>2,350 | 10,000/<br>1,500 |

*\*May trigger renaming the R districts*

Duplex Code

# Minimum Lot Widths

| DISTRICTS                                      | R10       | R7.5      | R6        | MR14      | MR18      | MR29      |
|--|-----------|-----------|-----------|-----------|-----------|-----------|
| <b>Proposed</b> (all types, except townhouses) | <b>60</b> | <b>50</b> | <b>40</b> | <b>30</b> | <b>30</b> | <b>30</b> |

- Currently 60 ft for all lots, primarily SFDD created through subdivision
- Reduce minimum lot frontage as well

(Townhouse lot widths are currently 25-35 ft, will all be reduced to 20 ft)

Duplex Code

# MR29 Zone

- High-density zone where SFDDs are currently permitted on 6,000-SF minimum lots
- *Consider removing new SFDDs as permitted use*
- *Or reducing minimum lot size for SFDDs to 2,000 or 3,000 SF*

# Duplex Conversions

- In residential zones, permit conversion of SFDD that is nonconforming structure to duplex
- In commercial/industrial zones, should conversion of nonconforming SFDD use to duplex be permitted? What review process?



# Related Infrastructure Issues

- Residential street design alternative: standards and criteria for use
- Access and driveways for duplexes
- Utility connections and meters
- Easements and flag lots

# DISCUSSION

- Detached duplexes and manufactured housing potential?
  - Reductions to minimum lot sizes? Timing?
  - Reductions to minimum lot widths?
  - Change to SFDD use in MR29?
  - Duplex conversion of non-residential nonconforming SFDDs?
  - Creative new zoning district names?
-

# DESIGN STANDARDS FOR MIDDLE HOUSING TYPES

# Design Standards for Other Types

- Proposal: Adopt the *design standards* from the Model Code for triplexes, quadplexes, townhouses and cottage clusters
  - *Siting standards* will be adapted to Roseburg's existing zones and standards, in compliance with OARs and Model Code
- Options for each standard:
  - Adopt design standard as-is
  - Modify design standard to be less restrictive
  - Have no design standard

# Triplex and Quadplex Concepts

- Entry orientation
- 15% minimum window coverage
- Garage and off-street parking areas
- Driveway approach

Figure 13. Main Entrance Facing the Street

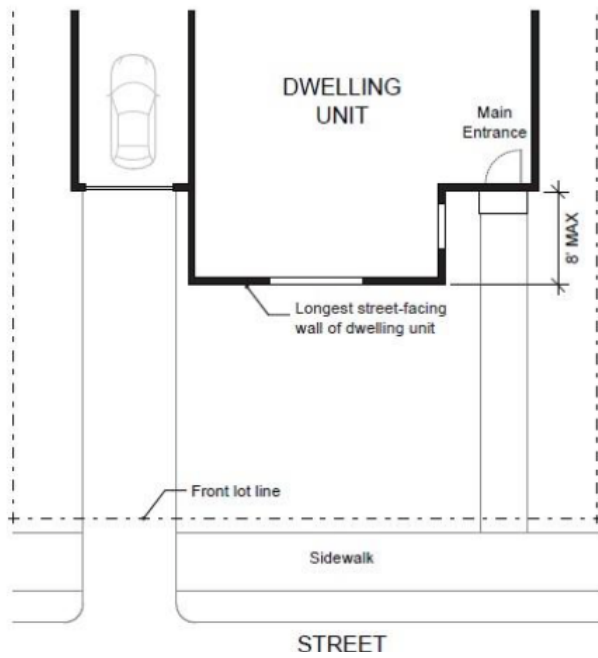


Figure 16. Main Entrance Opening onto a Porch

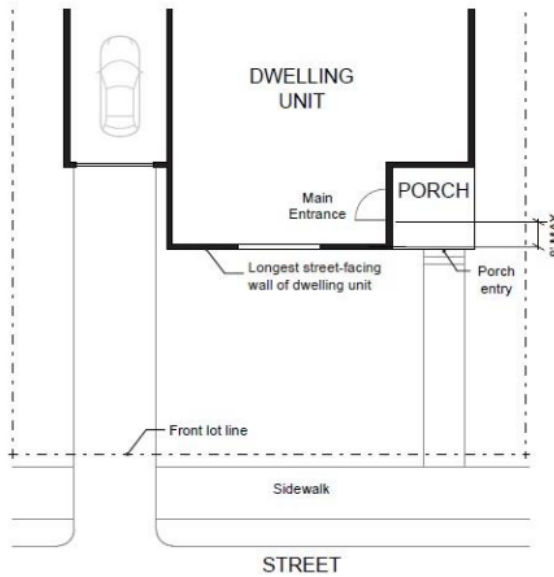
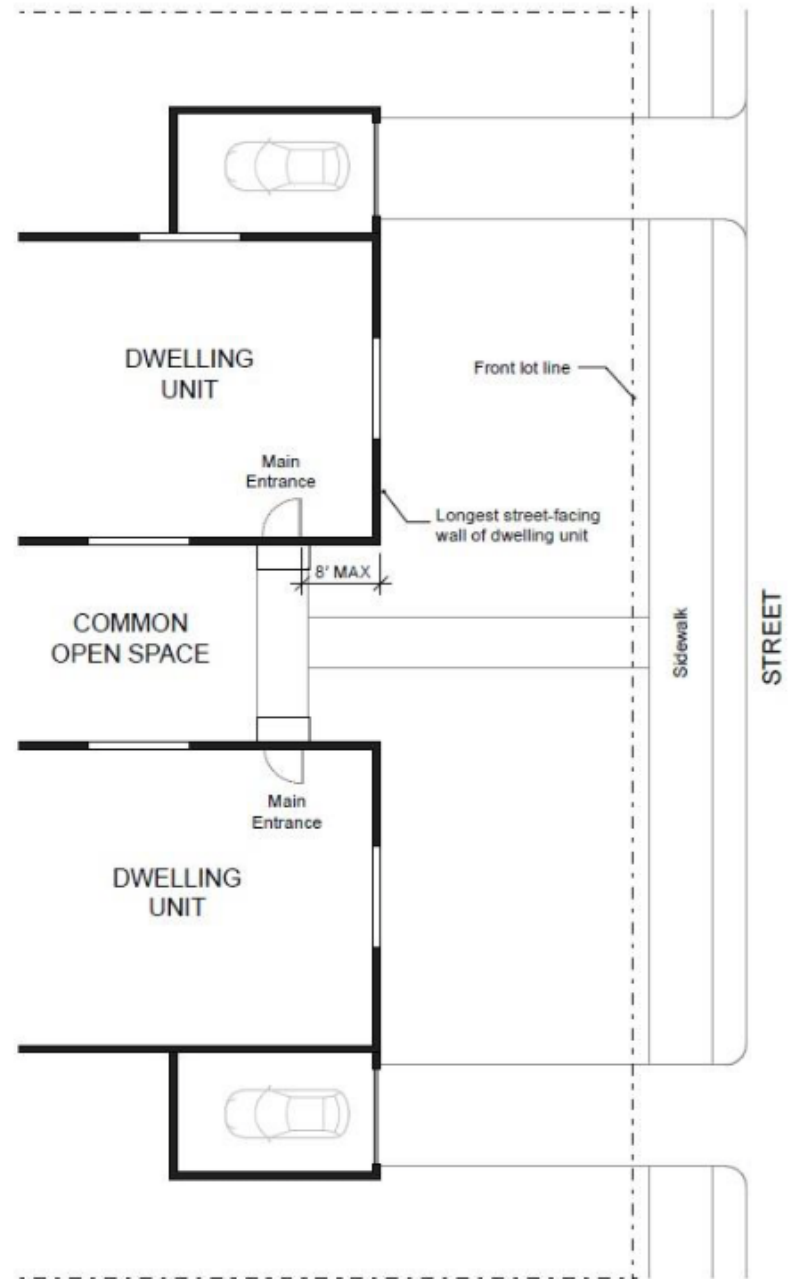


Figure 15. Main Entrance Facing Common Open Space

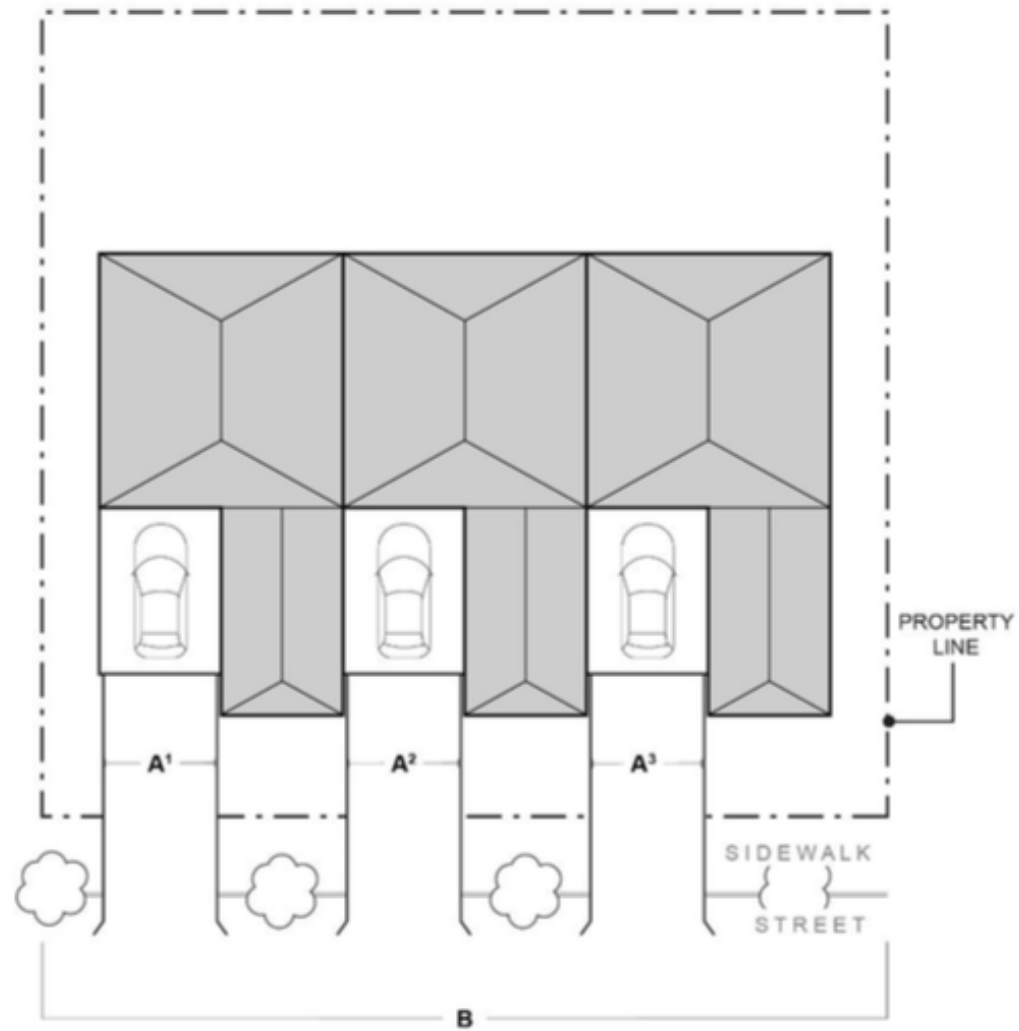


*Figure 17. Window Coverage*



**Triplex and Quadplex**

Figure 18. Width of Garages and Parking Areas

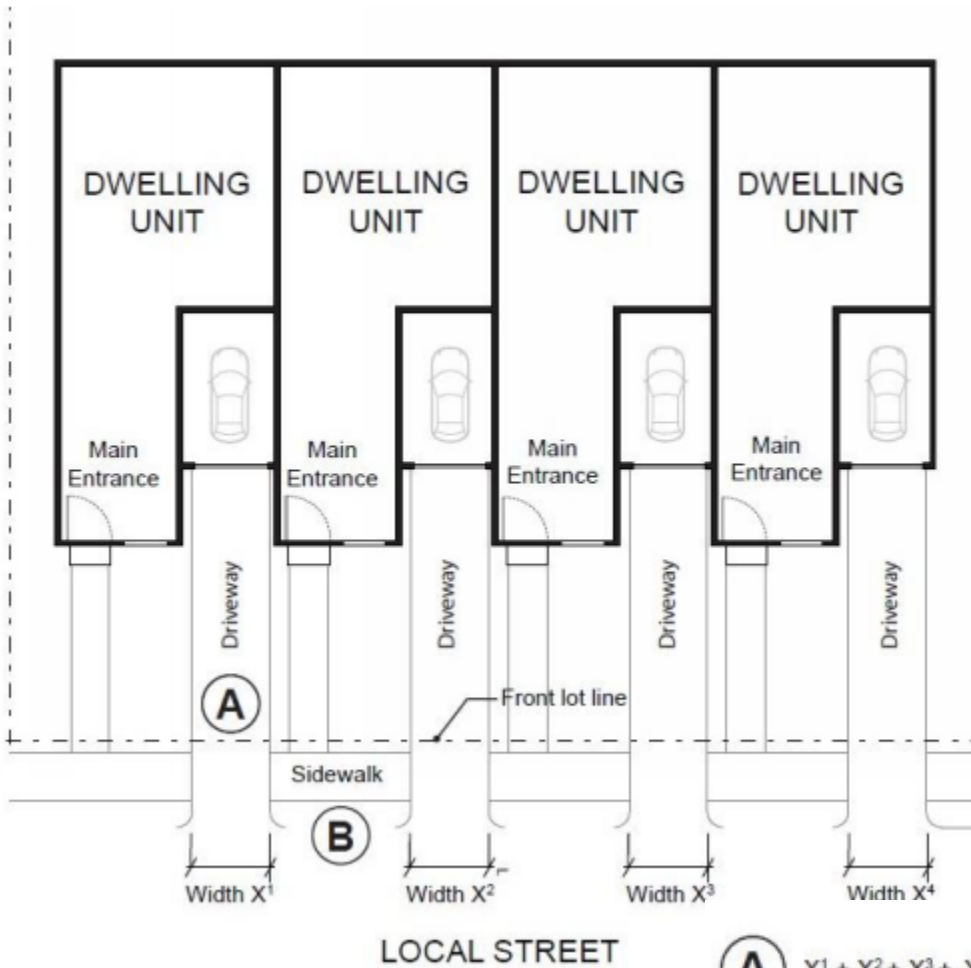


- (A) Garage and on-site parking and maneuvering areas
- (B) Total street frontage

$$\frac{A^1 + A^2 + A^3}{B} \leq 50\%$$



Figure 19. Driveway Approach Width and Separation on Local Street



**A**  $X^1 + X^2 + X^3 + X^4$  must not exceed 32 feet per frontage,

**B** Driveway approaches may be separated when located on a local street

Figure 20. Alley Access

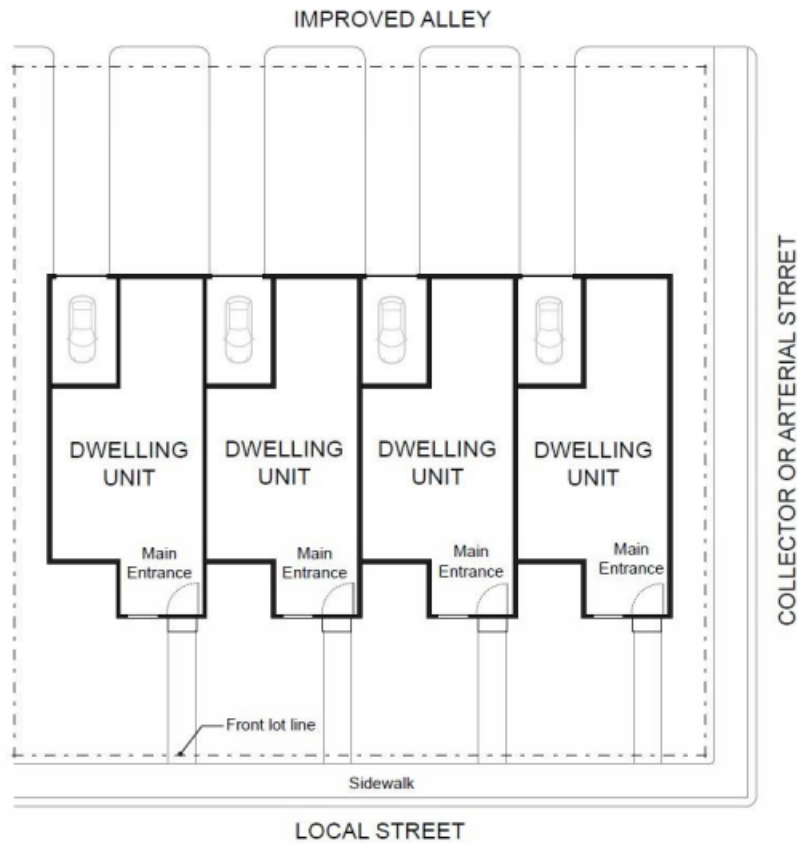
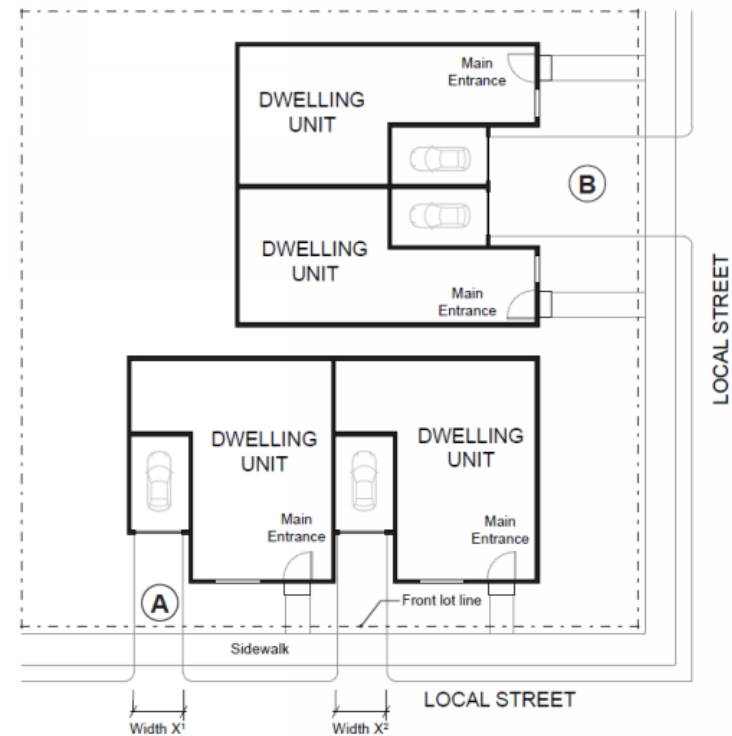


Figure 21. Driveway Approach Options for Multiple Local Street Frontages



Options for site with more than one frontage on local streets:

- (A)** Two driveway approaches not exceeding 32 feet in total width on one frontage (as measured  $X1 + X2$ ); or
- (B)** One maximum 16-foot-wide driveway approach per frontage.

(Note: Both options are depicted here for illustrative purposes only. The standards do not allow both Options A and B on the same site.)

# Triplex and Quadplex

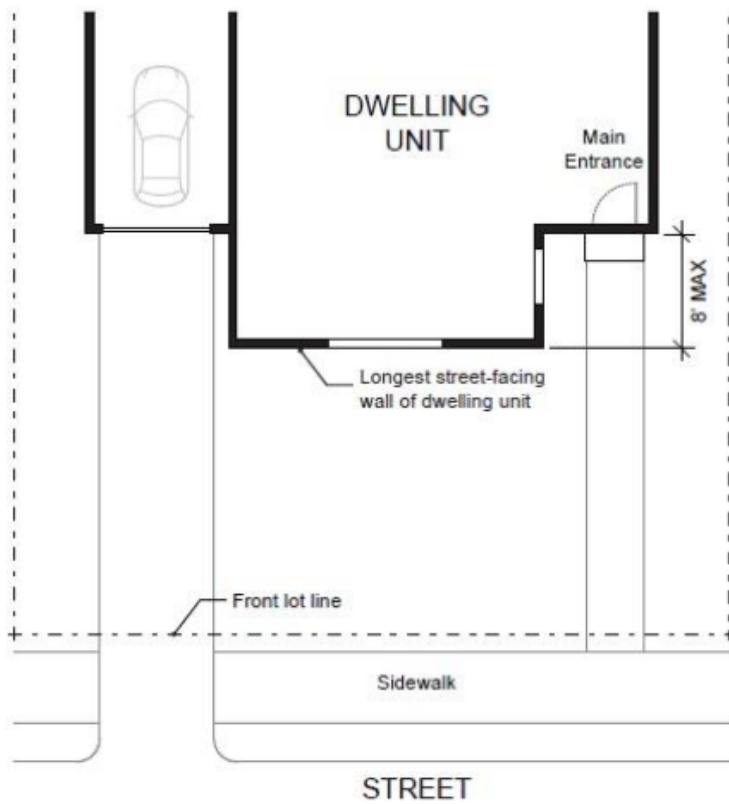
# DISCUSSION

- Entry orientation: are standards desired?
  - Windows: 15% requirement or something less?
  - Garage and Off-Street Parking Areas: questions?
  - Driveway Approach: questions?
  - Other questions/comments for triplexes and quadplexes?
-

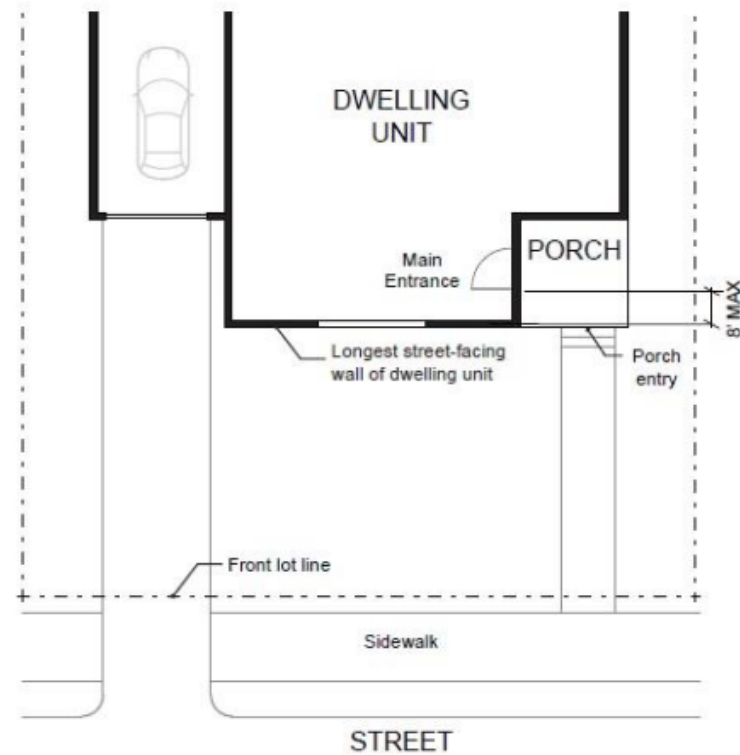
# Townhouse Concepts

- Entry orientation
- Unit definition
- 15% minimum window coverage
- Driveway access and parking

*Figure 13. Main Entrance Facing the Street*

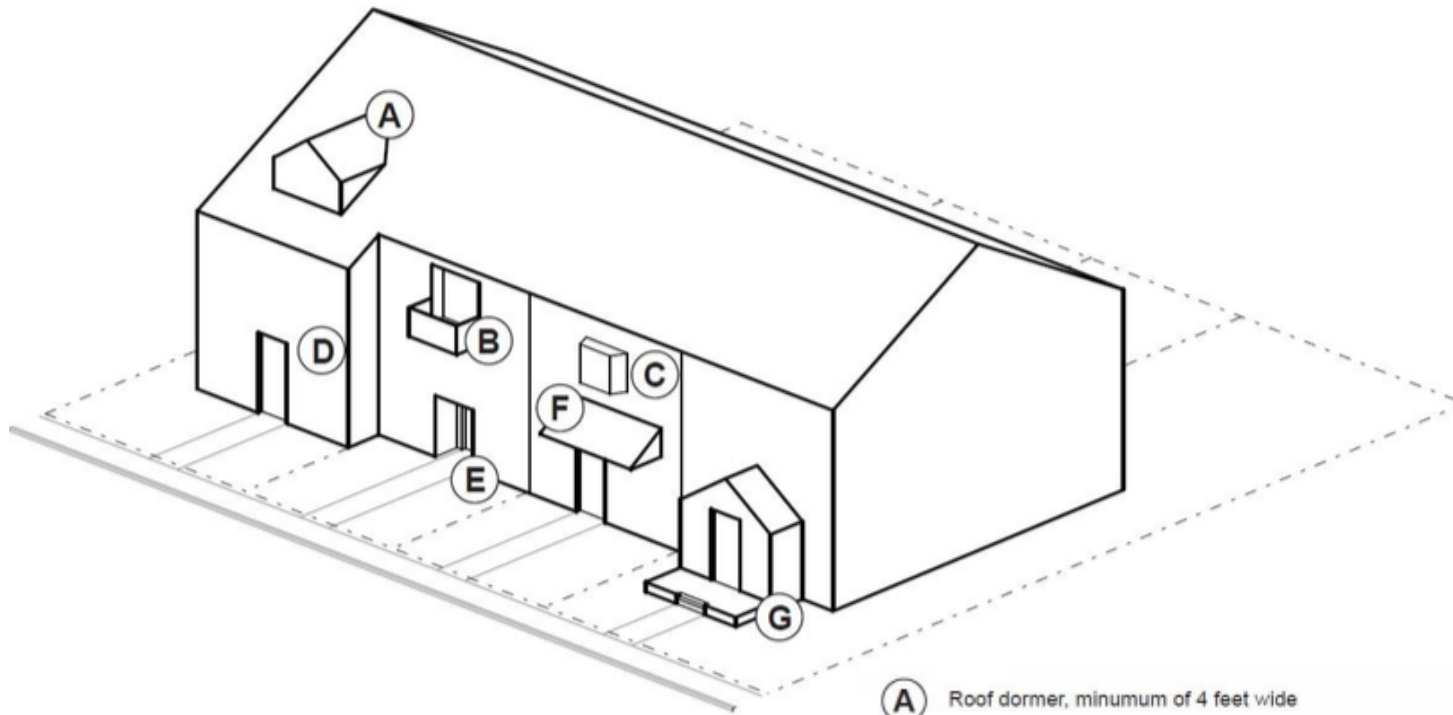


*Figure 16. Main Entrance Opening onto a Porch*



**Townhouse**

*Figure 22. Townhouse Unit Definition*



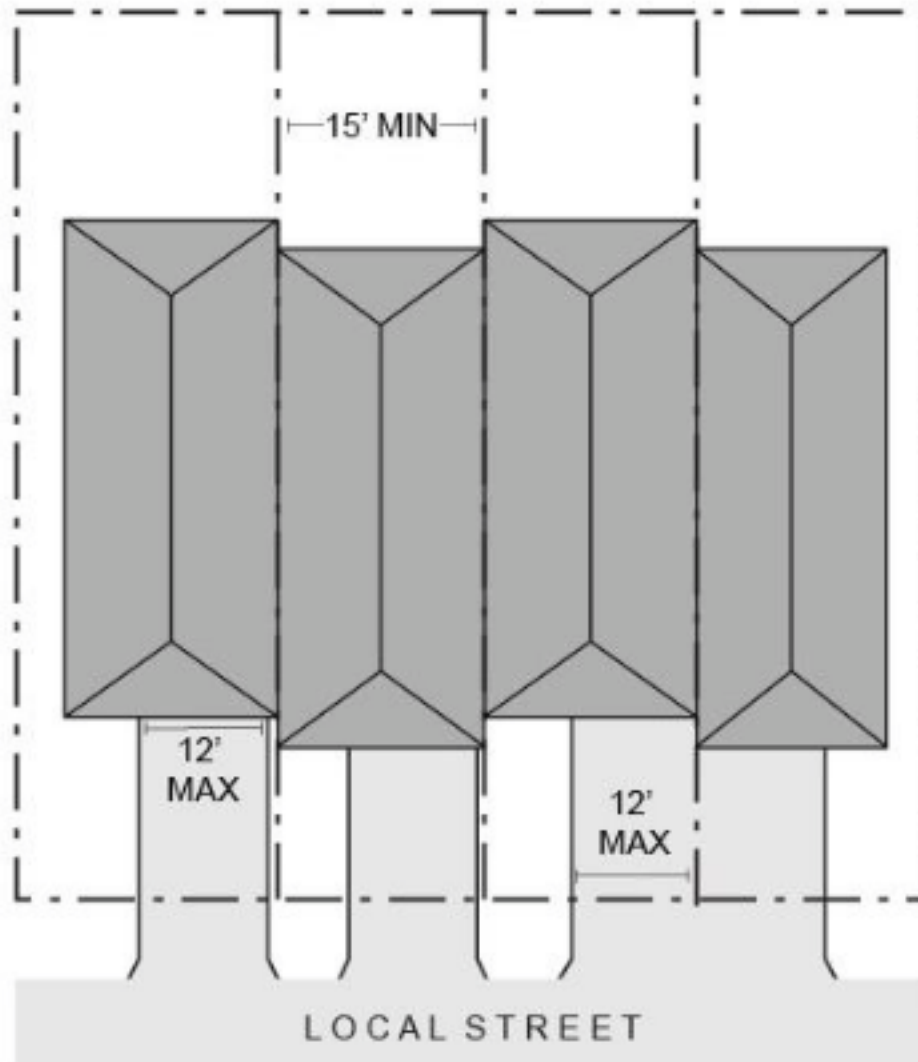
- Ⓐ Roof dormer, minimum of 4 feet wide
- Ⓑ Balcony, minimum 2 feet deep and 4 feet wide. Accessible from interior room.
- Ⓒ Bay window extending minimum of 2 feet from facade
- Ⓓ Facade offset, minimum of 2 feet deep
- Ⓔ Recessed entryway, minimum 3 feet deep
- Ⓕ Covered entryway, minimum of 4 feet deep
- Ⓖ Porch, meets standards of subsection (1)(b)(iv) of section (C)

*Figure 17. Window Coverage*

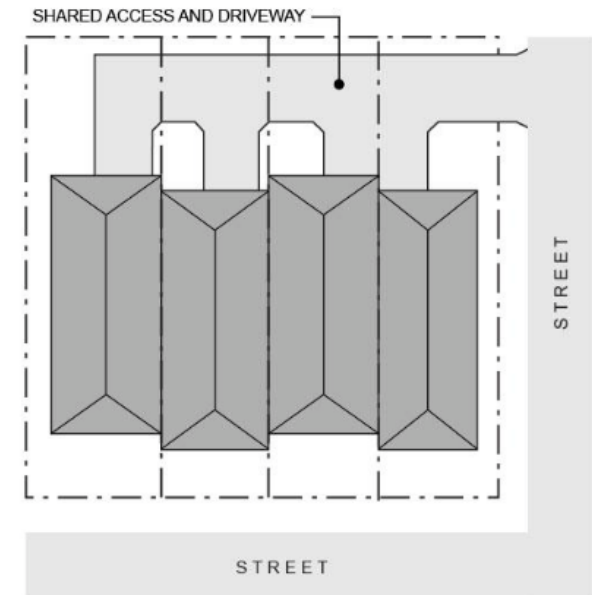


Townhouse

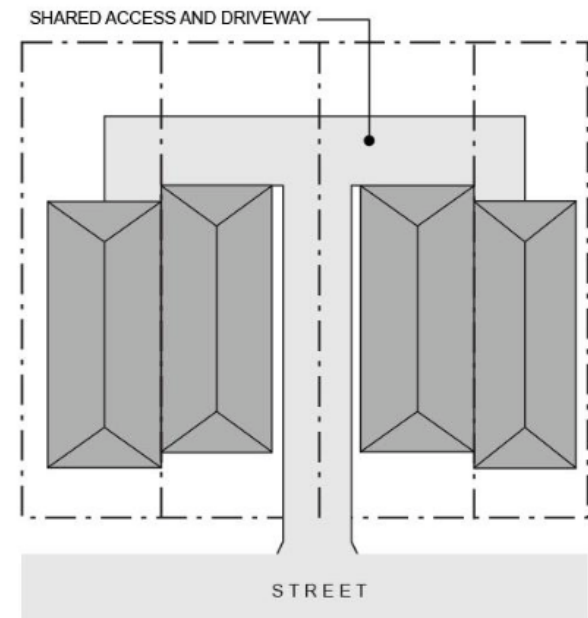
**Figure 23. Townhouses with Parking in Front Yard**



**Figure 24. Townhouses on Corner Lot with Shared Access.**



**Figure 25. Townhouses with Consolidated Access**





# DISCUSSION

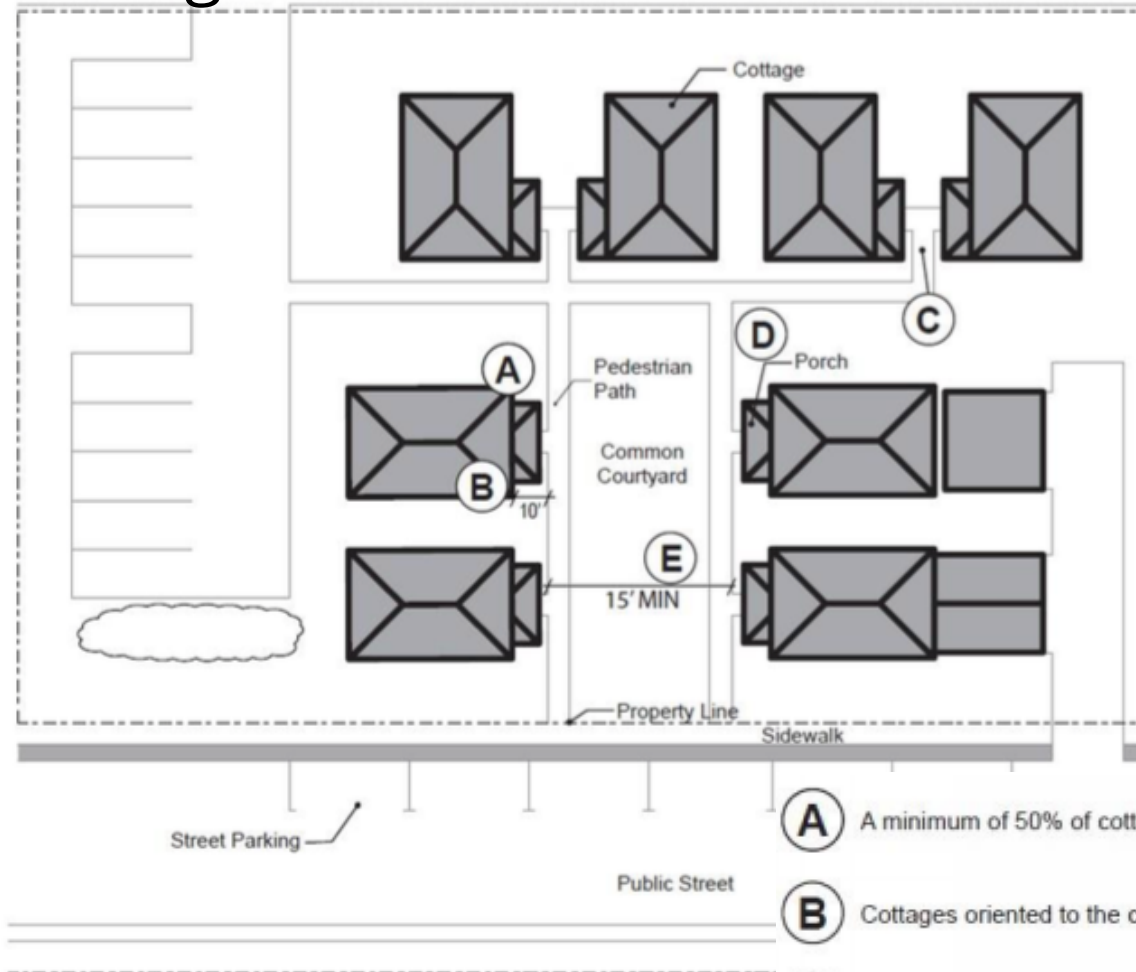
- Entry orientation: are standards desired?
- Unit definition: are standards desired?
- Windows: 15% requirement or something less?
- Driveway Access and Parking: questions?
- Other questions on townhouses?

# Cottage Cluster Concepts

- **Cottage Orientation:** 50% (or less) of units
- **Common Courtyard Design Standards:** 150 SF per unit
- Community Buildings: One per cluster up to 900 SF footprint
- Pedestrian Access: 4-ft wide accessible paths
- Windows: Same coverage as SFDDs
- Accessory Structures: Limited to 400 SF (garages)
- **Parking Design:** Shared parking areas
- Existing Structures: Ability to integrate

Cottage Cluster

## Cottage Orientation: Min 50% facing the courtyard

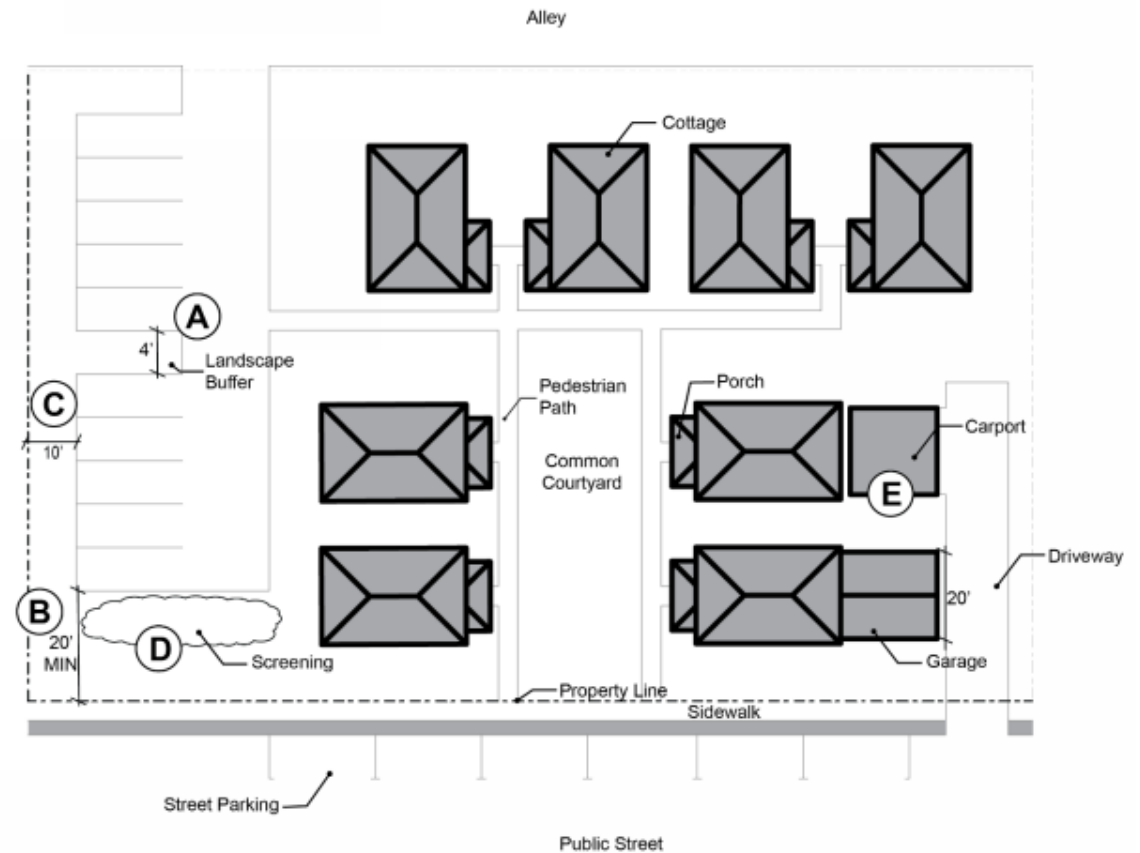


Courtyard: Min  
150 SF per unit,  
contiguous

- A** A minimum of 50% of cottages must be oriented to the common courtyard.
- B** Cottages oriented to the common courtyard must be within 10 feet of the courtyard.
- C** Cottages must be connected to the common courtyard by a pedestrian path.
- D** Cottages must abut the courtyard on at least two sides of the courtyard.
- E** The common courtyard must be at least 15 feet wide at its narrowest width.

Figure 27. Cottage Cluster Parking Design Standards

## Parking pod design and individual garage design



- (A)** Parking allowed in clusters of up to 5 spaces. Clusters separated by minimum 4 feet of landscaping.
- (B)** No parking or vehicle area within 20 feet from street property line (except alley).
- (C)** No parking within 10 feet from other property lines (except alley). Driveways and drive aisles permitted within 10 feet.
- (D)** Screening required between clustered parking areas or parking structures and public streets or common courtyards.
- (E)** Garages and carports must not abut common courtyards. Garage doors for individual garages must not exceed 20 feet in width.





- Appears to meet garage standards
- Does not meet courtyard orientation standards



# DISCUSSION

- **Cottage Orientation:** Percentage? Enclosure? Flexibility for street orientation?
- **Common Courtyard Design**
- Community Buildings
- Pedestrian Access
- Windows
- Accessory Structures
- **Parking Design:** Flexibility for parking areas and/or garages?
- Existing Structures

Cottage Cluster

NEXT STEPS



# Next Steps

- Advisory Committee Meeting #4 – March 11 (?)
- Public Meeting #2 - March

